



Commercial Corridors Redevelopment Plan



Borough of Union Beach
Monmouth County, New Jersey

Adopted: November 21, 2016



Acknowledgements

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Borough of Union Beach
Monmouth County, New Jersey

Prepared by:



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Commercial Corridors Redevelopment Plan

Adopted by the Governing Body: November 21, 2016

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The original of this document was signed and sealed in accordance with New Jersey Law

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Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

Table of Contents

| | |
|--------------------------------------------------------|-----------|
| Introduction..... | 1 |
| Area Overview | 2 |
| Statutory Requirements | 2 |
| Existing Zoning | 5 |
| Redevelopment Plan..... | 9 |
| Project Phasing..... | 9 |
| Core Design Concepts..... | 9 |
| Land Uses and Building Plan | 16 |
| Redevelopment Plan Area #1 | 16 |
| Redevelopment Plan Area #2..... | 22 |
| Redevelopment Plan Area #3..... | 28 |
| Redevelopment Plan Area #4..... | 34 |
| Relationship to Local Planning Objectives | 36 |
| Local Planning Objectives | 36 |
| Strategic Recovery Planning Report..... | 37 |
| Existing Zoning and Land Development Regulation | 37 |
| Planning Relationship | 38 |
| Contiguous Municipalities | 38 |
| Monmouth County | 38 |
| State Development and Redevelopment Plan..... | 39 |
| Administrative and Procedural Requirements..... | 40 |
| Relocation and Acquisition | 40 |
| Amending the Redevelopment Plan | 40 |

| | |
|-------------------------------------|----|
| Redevelopment Powers | 40 |
| Duration of the Plan..... | 40 |
| Redeveloper Selection..... | 40 |
| Redevelopment Entity Review | 40 |
| Planning Board Review Process | 41 |

LIST OF TABLES AND FIGURES

| | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| <i>Table 1: Redevelopment Plan Areas with Redevelopment Area Sites (shaded), Redevelopment Area Overlay Parcels, and Underlying Base Zoning.....</i> | <i>2</i> |
| <i>Figure 1: The image of this Front Street house in Union Beach is one of the more iconic reminders of the devastation wrought by Hurricane Sandy.....</i> | <i>1</i> |
| <i>Figure 2: The extent of Sandy's storm surge in the Union Beach Area. Source: Rutgers University, NJ Flood Mapper.....</i> | <i>1</i> |
| <i>Figure 3: Locating a building's mechanical equipment on the rooftop can shield it from flood damage. In this example, the equipment is located toward the rear of the building, screening it outside of view from the front of the building and commercial corridor.</i> | <i>9</i> |
| <i>Figure 4: Example of a vegetated or "green" roof.....</i> | <i>10</i> |
| <i>Figure 5: Building with entry at corner can maximize visibility from all sides. In addition, separate buildings with shared walls limits disruptions to downtown continuity, and promotes a pedestrian-friendly space.</i> | <i>10</i> |
| <i>Figure 6: Example of a mixed use structure, with first floor retail uses clearly visible through glass facades and second floor residential, accessed from a shared entry area at the front of the building. (Photo Credit: American Planning Association).....</i> | <i>11</i> |
| <i>Figure 7: Awnings extending into the public right of way (Photo Credit: American Planning Association)</i> | <i>12</i> |
| <i>Figure 8: Curbs with perforations or breaks permit the redirection of stormwater into natural planted areas. (Photo Credit: EPA).....</i> | <i>12</i> |
| <i>Figure 9: Union Avenue Street Section.....</i> | <i>13</i> |
| <i>Figure 10: Ornate Colonial Post Top Luminaire – II (Photo Credit: JCP&L).....</i> | <i>14</i> |
| <i>Figure 11: Example Streetscape – Allentown, PA (Photo Credit: T&M Associates)</i> | <i>15</i> |

Executive Summary

The purpose of the Commercial Corridors Redevelopment Plan is to assist the Borough of Union Beach in the process of storm recovery and long term resiliency by creating opportunities to revitalize the Union Avenue and State Route 36 commercial corridors.

Superstorm Sandy caused extensive damage throughout Union Beach. Approximately 90 percent of land throughout the Borough was inundated with 2 to 10 feet of water. The combined impact of high winds, heavy rains and storm surge damaged or destroyed homes, businesses, as well as Borough infrastructure and facilities.

Following Superstorm Sandy, the Borough declared the entire municipality an area in need of rehabilitation in 2013, permitting the creation of redevelopment plans for selected sites. The Borough's 2014 Strategic Recovery Planning Report identified an immediate need to renew efforts to make the Route 36 Corridor redevelopment area a priority. Subsequently, a 2015 Commercial Corridor plan for Union Avenue and Route 36 identified several redevelopment opportunities that could help catalyze a post-storm recovery of the Borough's commercial centers.

This Plan identifies four (4) sites along the Union Avenue and Route 36 commercial corridors for redevelopment through the creation of specialized use guidelines, development requirements and design standards which supersede the underlying base zoning. Adjacent to each site, certain lots are included in the Redevelopment Plan Area as part of an optional overlay, which may utilize the standards described in this Plan when they are developed in conjunction with the site. These redevelopment standards permit developers to access increased densities from the underlying zoning in exchange for meeting certain design concepts that promote sustainability and storm resiliency while facilitating the revitalization of the Borough's commercial districts.

In order to implement the Redevelopment Plan in a manner consistent with its stated goals and objectives, the Redevelopment Plan shall supersede the use, bulk and design standards of the existing underlying Zoning Districts as specified in the Borough's Zoning Ordinance for the Redevelopment Area Sites specifically highlighted on Page 2 of this report. The remaining parcels identified in the optional Redevelopment Plan Area overlay may utilize the use, bulk and design standards of this Redevelopment Plan if they are developed in conjunction with the sites where the Redevelopment Plan supersedes the underlying Zoning.

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

Introduction



Figure 1: The image of this Front Street house in Union Beach is one of the more iconic reminders of the devastation wrought by Hurricane Sandy.

When Hurricane Sandy struck the coast of New Jersey on October 29, 2012, the impact of the hurricane's destructive winds, flooding and storm surge devastated Union Beach. Floodwaters, ranging from 2 to 10 feet in depth, covered nearly 90 percent of the Borough. The storm destroyed 60 properties, and substantially damaged another 629. Downed trees and power lines left residents without power for over two weeks. Over 24,000 tons of storm debris covered the area.

Union Beach experienced some of the most extreme damage, caused by a combination of flooding, wave action, and wind. On July 18, 2013, Union Beach approved resolution 2013-106, declaring the entire Borough as an "Area In Need of Rehabilitation." This designation, made on the basis of the average age of the area's housing stock, gave

Union Beach the authority to utilize all aspects of redevelopment, with the exception of eminent domain land acquisition and long-term property tax abatements.

Development of the Commercial Corridors Redevelopment Plan was guided by input from the Union Beach Post Sandy Recovery Committee, which included Mayor Paul Smith, Councilman Lou Andreuzzi, Borough Administrator Bob Howard, Borough Engineer representative Dennis Dayback, as well as Planning Board Chairman Chuck Steiner and Planning Board Secretary Madeline Russo.

The central focus of this Redevelopment Plan promotes land use and development that will help Union Beach become more resilient in order to withstand future storm events in order to meet the needs of residents, visitors, businesses and investors today and well into the future. These recommendations are echoed by the recently completed 2014 Strategic Recovery Planning Report, 2015 Master Plan Reexamination Report and Master Plan Amendments, and the Commercial Corridors Resiliency Plan for Route 36 and Union Avenue.



Figure 2: The extent of Sandy's storm surge in the Union Beach Area. Source: Rutgers University, NJ Flood Mapper.

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

Area Overview

Union Beach, a borough of Monmouth County, is a coastal community located on the Raritan Bay shore. As shown in the table below and in the following maps, the area proposed for redevelopment, including overlays, consists of 14 parcels in 4 distinct Redevelopment Plan Areas along two of the Borough's commercial corridors, Union Avenue and Route 36. The total area measures 3.32 acres in size.

Statutory Requirements

This Redevelopment Plan is written pursuant to Section 7 of the LRHL (N.J.S.A. 40A:12A-7), which provides that "no redevelopment project shall be undertaken or carried out except in accordance with a Redevelopment Plan adopted by ordinance of the municipal governing body." Pursuant to the requirements of the LRHL, the Redevelopment Plan shall include an outline for the planning, development, redevelopment, or rehabilitation of the Redevelopment Area sufficient to indicate:

- Its relationship to definite local objectives as to appropriate land uses, density of population, and improved traffic and public transportation, public utilities, recreational and community facilities, and other public improvements.

- Proposed land uses and building requirements in the Redevelopment Area.
- Adequate provision for the temporary and permanent relocation, as necessary, of residents in the Redevelopment Area, including an estimate of the extent to which decent, safe and sanitary dwelling units affordable to displaced residents will be available to them in the existing local housing market.
- Any property that may be acquired in accordance with the redevelopment plan, as well as the provisions for the replacement of any affordable units that are lost as a result of the implementation of this Redevelopment Plan.
- Its relationship to: (a) the Master Plans of contiguous municipalities; (b) the Master Plan of the county in which the municipality is located; and (c) the State Development and Redevelopment Plan (SDRP) adopted in pursuant to the "State Planning Act," P.L. 1985, c. 398 (C.52:18A-196 et al.).
- Its relationship to the development regulations of the municipality.

The Redevelopment Plan has been prepared to meet these requirements as described in the following sections of the plan.

Table 1: Redevelopment Plan Areas with Redevelopment Area Sites (shaded), Redevelopment Area Overlay Parcels (unshaded), and Underlying Base Zoning

| Redevelopment Plan Area #1 | | | | Redevelopment Plan Area #2 | | | | Redevelopment Plan Area #3 | | | | Redevelopment Plan Area #4 | | | | | |
|----------------------------|-------|-----|-------------------|----------------------------|-------|-----|-------------------|----------------------------|-------|-----|-------------------|----------------------------|-------|------|-------------------|------|------|
| Zoning | Block | Lot | Acreage | Zoning | Block | Lot | Acreage | Zoning | Block | Lot | Acreage | Zoning | Block | Lot | Acreage | | |
| B-2 | 242 | 11 | 0.17 | R-8 | 187 | 2 | 0.11 | R-8 | 210 | 23 | 0.07 | B-2/O-R | 168 | 9.01 | 0.30 | | |
| | | | | | 187 | 1 | 0.19 | | | 210 | 24 | | | | | 0.11 | |
| | 242 | 10 | 0.12 | B-1 | 187 | 15 | 0.11 | | | 210 | 25 | | | | | 0.21 | |
| | 242 | 9 | 1.13 | | | 187 | 16 | | 0.17 | | 210 | | | | | 26 | 0.21 |
| | 242 | 8 | 0.20 | | | | | | | | | | | | | | |
| | 242 | 5 | 0.22 | | | | | | | | | | | | | | |
| Total | | | 1.84 Acres | Total | | | 0.58 Acres | Total | | | 0.60 Acres | Total | | | 0.30 Acres | | |



Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

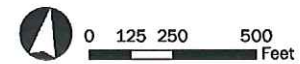


Commercial Corridor Redevelopment Plan Areas

Borough of Union Beach
Monmouth County
New Jersey

Legend

-  Redevelopment Plan Areas
-  Henry Hudson Trail

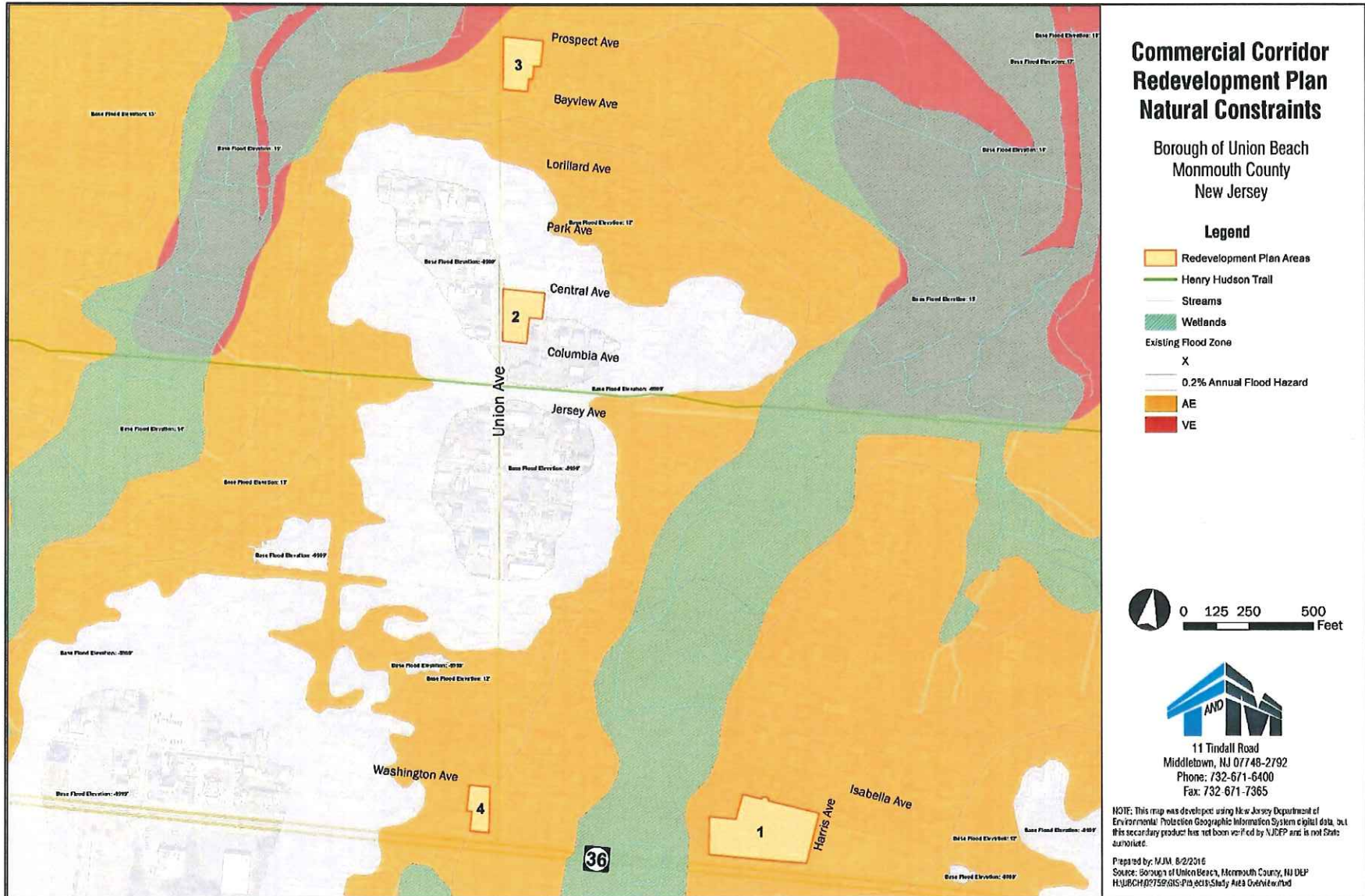


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NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State authorized.

Prepared by: MJM, 8/2/2016
Source: Borough of Union Beach, Monmouth County, NJ DEP
HUIBCH0275F01S0101Study Area Overview.mxd

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County



Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

Existing Zoning

The underlying zoning of the Redevelopment Plan Areas includes the R-8 (Residential) B-1 (Neighborhood Business), B-2 (Highway Business), O-R (Office Residential) zoning districts. The permitted uses and bulk requirements of these zoning districts is included below:

R-8 Residential Zone District

Permitted Uses

- Single family dwellings.
- Federal, state, county and municipal buildings and grounds including schools, parks and playgrounds, but not workshops, warehouses, garages and storage yards.
- Private and parochial schools not operated for profit.
- Essential services.
- Community residences.

Required Accessory Uses

Off-street parking

Permitted Accessory Uses

- Fences
- Private swimming pools
- Signs
- Accessory uses and buildings incidental to the principal use and building and excluding business activities.
- Family day care homes

Conditional Uses

- Semi-divided ("mother-daughter") dwellings
- Churches and places of worship
- Public utilities
- Marinas, but excluding boat yards
- Home professional offices

- Quasi-public and private club recreation areas
- Townhouse dwellings with frontage on the south side of Front Street
- Personal wireless telecommunication facilities and equipment
- Temporary Uses and Structures (Trailers, Quonsets, campers, and two-single family residences)

Prohibited Uses

- Quonsets, trailers, and other tent-like structures except as temporary conditional uses and structures

Bulk Requirements

| | |
|----------------------------------------------|---------------------------------------|
| Minimum Lot Area (sq. ft.) | 7,500 (10,000 sq. ft. for corner lot) |
| Minimum Lot Width (ft.) | 75 (100 ft. for corner lot) |
| Minimum Lot Frontage (ft.) | 75 (100 ft. for corner lot) |
| Minimum Lot Depth (ft.) | 100 |
| Minimum Front Setback (ft.) | 20 |
| Minimum Rear Setback (ft.) | 30 |
| Minimum Side Setback (ft.) | 8 (20 ft. combined) |
| Maximum Building Height (ft.) | 30* |
| Maximum Lot Coverage (buildings) | 25% (50% buildings and structures) |
| Minimum Gross Habitable Floor Area (sq. ft.) | |
| <i>One Bedroom House</i> | 960 sq. ft. |
| <i>Two Bedroom House</i> | 1,060 sq. ft. |
| <i>Three Bedroom House</i> | 1,160 sq. ft. |
| <i>Four or More Bedroom House</i> | 1,260 sq. ft. |

*Per §13-2.3 (Definitions), building height for all structures located in the area of special flood hazard shall be measured from the base flood elevation.

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

B-1 Neighborhood Business Zone District

Permitted Uses

- Retail businesses of a neighborhood service character
- Personal service establishments
- Business, professional, governmental and educational offices
- Banks and financial institutions
- Restaurants, bars and other eating and drinking establishments
- Essential services
- Existing single family dwellings
- Age-restricted residences
- Child care centers

Required Accessory Uses

Off-street parking and loading

Permitted Accessory Uses

- Fences
- Signs
- Accessory uses and buildings incidental to the principal use and building

Conditional Uses

- Public utilities
- Wind energy systems or facilities

Bulk Requirements

| | |
|-------------------------------|--------|
| Minimum Lot Area (sq. ft.) | 15,000 |
| Minimum Lot Width (ft.) | 100 |
| Minimum Lot Frontage (ft.) | 100 |
| Minimum Lot Depth (ft.) | 150 |
| Minimum Front Setback (ft.) | 20 |
| Minimum Rear Setback (ft.) | 20 |
| Minimum Side Setback (ft.) | 5 |
| Maximum Building Height (ft.) | 20* |
| Maximum Lot Coverage | 50% |
| Maximum Floor Area Ratio | .8 |

**Per §13-2.3 (Definitions), building height for all structures located in the area of special flood hazard shall be measured from the base flood elevation.*

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

B-2 Highway Business Zone District

Permitted Uses

- Retail and wholesale stores, shops and markets
- Personal service establishments
- Business and professional offices and banks and fiduciary institutions
- Restaurants, bars and other eating and drinking establishments
- Automobile sales
- Art, dancing, music, gymnastics and other similar instructional schools
- Vocational schools
- Scientific or research laboratories
- Newspaper/periodical publication
- Government buildings and grounds
- Offices, showrooms, warehouses and garages of contractors
- Essential services
- Child care centers

Required Accessory Uses

- Off-street parking and loading

Permitted Accessory Uses

- Fences
- Signs
- Bulk storage
- Accessory uses and buildings incidental to the principal use and building

Conditional Uses

- Motor vehicle service stations
- Motor vehicle repair garages
- Public utilities
- Drive-in restaurants
- Hotels and motels
- Shopping centers
- Quasi-public and private club recreation areas

- Commercial recreation activities
- Bulk storage of fuel in conjunction with a retail or wholesale outlet
- Trailers for the storage or sale of goods or merchandise
- Wind energy systems or facilities

Bulk Requirements

| | |
|-------------------------------|----------------------|
| Minimum Lot Area (sq. ft.) | 25,000 |
| Minimum Lot Width (ft.) | 300 |
| Minimum Lot Frontage (ft.) | 300 |
| Minimum Lot Depth (ft.) | 150 |
| Minimum Front Setback (ft.) | 35 |
| Minimum Rear Setback (ft.) | 20 |
| Minimum Side Setback (ft.) | 10 (40 ft. combined) |
| Maximum Building Height (ft.) | 35* |
| Maximum Lot Coverage | 40% |
| Maximum Floor Area Ratio | .8 |
| Open Space | 10% |

**Per §13-2.3 (Definitions), building height for all structures located in the area of special flood hazard shall be measured from the base flood elevation.*

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

O-R Office Residential Zone District

Permitted Uses

- Single family residences
- Municipal buildings, parks and playgrounds
- Essential services
- Personal services
- Business services
- Professional offices
- Home occupation uses within residential structures
- Community residences

Required Accessory Uses

- Off-street parking and loading

Permitted Accessory Uses

- Fences
- Signs
- Accessory uses and buildings incidental to the principal use and building
- Family day care homes

Conditional Uses

- Home professional offices
- Residential adult community single-family dwellings
- Wind energy systems or facilities

Bulk Requirements

| | (Non-Residential Uses in the O-R) |
|----------------------------------|------------------------------------|
| Minimum Lot Area (sq. ft.) | 7,500 |
| Minimum Lot Width (ft.) | 75 |
| Minimum Lot Frontage (ft.) | 75 (100 ft. corner lot) |
| Minimum Lot Depth (ft.) | 100 |
| Minimum Front Setback (ft.) | 20 |
| Minimum Rear Setback (ft.) | 30 |
| Minimum Side Setback (ft.) | 8 (20 ft. combined) |
| Maximum Building Height (ft.) | 30* |
| Maximum Lot Coverage (buildings) | 25% (50% buildings and structures) |

**Per §13-2.3 (Definitions), building height for all structures located in the area of special flood hazard shall be measured from the base flood elevation.*

Redevelopment Plan

The Commercial Corridors Redevelopment Plan highlights strategic opportunities to revitalize the Borough's commercial corridors along Route 36 and Union Avenue. This Plan proposes resilient and sustainable building and site design standards to create a distinct and attractive walkable built environment able to sustain itself economically while mitigating against future flood hazards.

Project Phasing

The Borough's decision to utilize the area-in-need-of-rehabilitation designation for this Redevelopment Plan prohibits the use of eminent domain; instead this plan encourages a coordinated effort of public and private investment to achieve its goals. Furthermore, because the Redevelopment Plan Area includes an optional overlay for certain parcels, it is anticipated that redevelopment may take place in phases as developers opt to utilize the Redevelopment Plan.

Core Design Concepts

Development in each of the Redevelopment Plan Areas will incorporate the following core design concepts. The purpose of these core design standards is to establish a set of principles and requirements that encourage redevelopment in a manner that is aesthetically pleasing and provides visual interest. The guidelines work to provide standards that allow for flexibility and creativity while encouraging high-quality development.

As part of the design review application, a written design concept statement shall be submitted. The statement should identify the significant site features, support the reasoning behind the proposed architectural design and site plan, and explain how and why the project design is consistent with the intent of the Redevelopment Plan and addresses the Land Use Plan and Core Design Concepts. Alternatively, a redeveloper may substitute design concepts produced by the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) Green Building Rating System®, for building design and construction, if the proposed changes serve the overarching goal of storm resiliency.



Figure 3: Locating a building's mechanical equipment on the rooftop can shield it from flood damage. In this example, the equipment is located toward the rear of the building, screening it outside of view from the front of the building and commercial corridor.

Development Design Standards

- Buildings shall, to the greatest extent practicable, incorporate storm protection measures, such as shutters and other window coverings, into the proposed design.
- All habitable structures located within a Flood Hazard Area shall be designed and constructed in accordance with FEMA regulations.
- Building construction shall employ durable materials that tolerate coastal marine conditions.

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

- Buildings are encouraged to contain a mix of different businesses and uses. Residential development shall be permitted above the ground floor.
- Rooflines may be defined by gabled or other pitched roof forms, parapets balustrades, or cornices, while flat roofs are suitable for certain architectural stylings, or for the installation of a vegetated green roof or garden space.
- Rooftop mechanical equipment shall be screened using pitched roof forms, parapets or material of similar material as the building façade.
- Vegetated green roofs shall entitle the developer to a building coverage bonus equal to the area of the green roof.
- Consideration should be given to the use of green roofs, in order to reduce the quantity of stormwater that empties into the streets and parking areas during rain events. Alternatively, a developer may consider the use of a blue roof that also reduces cooling costs, and retain water from flooding streets, but can also be channeled into cisterns and used for irrigation.

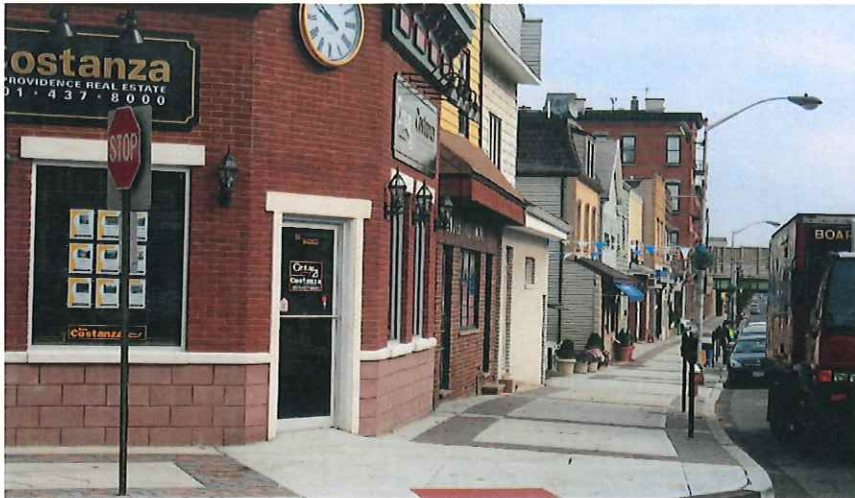


Figure 5: Building with entry at corner can maximize visibility from all sides. In addition, separate buildings with shared walls limits disruptions to downtown continuity, and promotes a pedestrian-friendly space.



Figure 4: Example of a vegetated or "green" roof

- Buildings shall be designed so as to be attractive from all vantage points, such that the same materials, windows and detailing are used on all faces and sides of the building. Blank walls shall not be permitted on any building.
- Where specifically permitted in the individual Redevelopment Plan Areas, the setback between buildings in a redevelopment plan area may be reduced to zero (0) in order to encourage downtown style "block" development.
- Bay windows or other window features may be incorporated into the façade. Corner buildings shall have windows on both street frontages.
- All development shall have access to a standby/backup generator that will provide limited power during service outages.
- Centrally located indoor areas designated for the collection and storage of refuse and recyclables is encouraged for mixed-use buildings with residential dwellings for the efficient pickup by collection personnel and vehicles.

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

- Refuse and recycling areas shall be appropriately screened, well-lit and shall be safely and easily accessible by collection personnel and vehicles, without interference from parked cars or other obstacles.
- The use of energy-efficient lighting and appliances, including but not limited to, stoves, refrigerators, washer/dryer units, air conditioning and heating systems should be utilized to the greatest extent possible.



Figure 6: Example of a mixed use structure, with first floor retail uses clearly visible through glass facades and second floor residential, accessed from a shared entry area at the front of the building. (Photo Credit: American Planning Association)

Non-Residential Design

- Ground-floor retail, commercial, and civic uses shall be built with a finished floor elevation that is at-grade. For buildings in a Flood Hazard Area, floodproofing will be required in order to comply with FEMA regulations.
- At least 50% of the retail storefront façade shall be glass; and shall provide views into the store and display areas. Frosted or blocked windows on the first floor shall not be permitted.
- Retractable or fixed awnings may be utilized along retail frontage for protection from rain and sun. Awnings may extend a minimum distance of 4 feet to a maximum distance of 6 feet from the building façade. In no case shall an awning extend beyond the face of curb or edge of roadway pavement.
- Buildings with multiple retail tenants should provide a separate street-level entrance for each retail tenant or business.

Residential Design

- All residential units shall have connections for washing machines and driers.
- Apartment buildings shall have a shared entry and lobby.

Driveway and Parking Overview

- Parking for residential uses shall be provided entirely on site. If a proposed development requires more parking spaces for non-residential uses than can be accommodated on site, and a shared parking agreement cannot be arranged with a neighboring property owner, the developer may provide additional parking spaces at an off-site location if it can be demonstrated that the site will realistically address the parking shortfall to the satisfaction of the Planning Board.
- All efforts shall be made to reduce the amount of impervious surface generated from off-street parking and internal roadways, while maintaining the integrity of the road surface. Where appropriate, developers may consider the use of pervious pavements or tiled pavers. For the purpose of calculating lot coverage, up to 50% of permeable/porous pavement area shall not be considered to be impervious.
- All off-street parking areas and internal roadways shall be paved, bounded by permanent curbing and constructed in accordance with the Borough of Union Beach road specifications.
- Rain gardens and landscaped drainage swales shall be incorporated in areas that can support stormwater infiltration. Curbs shall be designed to direct

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County



Figure 7: Awnings extending into the public right of way (Photo Credit: American Planning Association)

stormwater off to collection basins, rain gardens, or as required by the Borough.

- The visibility of off-street parking areas from streets, sidewalks, parks and other public areas shall be minimized.
- Parking should be located behind buildings and away from the view of streets and public areas
- Shared driveways and parking arrangements between two properties, which minimize curb cuts and impervious surfaces, is encouraged.
- Multi-family, civic, and office buildings shall provide secure and conveniently-accessible indoor bicycle parking. Other uses are encouraged to provide bicycle parking and storage facilities.
- Wherever possible, a landscaped buffer of at least three feet should be provided at the edge of all parking lots.
- The design of 90° parking stalls that face a landscaped area shall incorporate a porous pavement area eighteen inches of parking place depth and protected by a wheelstop or curb opening (vehicle overhang), permitting parking spaces that are 16 feet, 6 inches deep.



Figure 8: Curbs with openings or breaks permit the redirection of stormwater into natural planted areas. (Photo Credit: EPA)

Stormwater Management

- Redevelopment shall utilize on-site management of stormwater whenever practicable.

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

- Future development shall incorporate green infrastructure when possible. Rain gardens, vegetated roofs and collection cisterns can reduce stormwater, while creating a community amenity and reducing the amount of potable water used for landscape irrigation.

Landscaping and Site Design Overview

- Landscaping and site design shall complement the character of the proposed development and provide a smooth visual transition between the redevelopment plan area and the surrounding community.

Comprehensive Streetscape Elements

- Comprehensive streetscape improvements shall be provided along the frontage of a property or properties along Union Avenue under consideration for development. Streetscape improvements shall be dimensioned in accordance with the typical cross section for Union Avenue in the figure below. This typical cross section consists of the following components:
 - Seven (7) foot sidewalks on each side of the street;
 - One (1) thirteen (13) foot travel lane northbound
 - One (1) twelve (12) foot travel lane southbound
 - One (1) eight (8) foot parallel parking lane southbound



Figure 9: Union Avenue Street Section

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

- Streetscape improvements shall be completed between the building and edge of pavement, with the exception of on-site landscaping, which shall be completed as required on the property under consideration for development.
- Sidewalks shall be provided within the right-of-way in accordance with the best currently available standards and practices including the NJDOT Roadway Design Manual, NJ DOT Bicycle and Pedestrian Facilities Design Guidelines, ADA Access Guide, AASHTO's Guide for the Planning, Design and Operation of Pedestrian Facilities, and any others as related. Barrier free (ADA compliant) pedestrian facilities shall be provided.
- The space between the buildings and the edge of pavement along Union Avenue shall be wide enough to accommodate pedestrian traffic, street furniture (i.e. benches), street trees and decorative lighting.

Vegetation and Irrigation

- Landscaping shall provide shade near sidewalks and parking areas, and create an aesthetically pleasing experience.
- Plants that require daily irrigation and regular soil amendment shall not be permitted, in order to protect the quality of surrounding waterways and limit the unnecessary use of potable water for nonpotable uses.
- Irrigation systems that principally draw from rainwater collection cisterns are encouraged. A backup system that utilizes potable water is permitted when rainwater collection is insufficient. All irrigation systems must utilize a "smart" irrigation controller.
- Landscape vegetation shall include a mixture of elements, including shade trees, decorative flowering trees, evergreen trees, shrubs and hedges, ground cover, perennials, and annuals, and may include other materials such as rock sculpture, art, walls, fences, and decorative brick or paving materials.
- The use of native vegetation is encouraged, specifically those that are tolerant to coastal marine environments, and those specially attuned to soil stabilization. More flexibility will be given to the size, design, and layout of these plantings to buffer against coastal flooding and maximize stormwater absorption.
- All plant material shall be guaranteed for at least two (2) years. As a condition of any approval with may be granted by the Planning Board, an agreement

between the Borough and the Developer shall be duly executed. This agreement may be made as part of the Development Agreement.

- Fence or vegetative screens shall be installed around outdoor utility boxes and standby generator equipment.
- Window planter boxes may extend 18 inches from the building façade. Window boxes shall not interfere with the normal circulation of pedestrians, ADA accessibility or any other function of the sidewalk area.
- Light foliated street trees are encouraged at a spacing no greater than fifty (50) feet on center. Street trees shall be of a native species, as well as urban and salt tolerant.

Lighting

- Walkways and driveways shall incorporate lighting that is sufficient for safe travel along streets, sidewalks and parking areas. The use of LED and other low-energy lighting should be used when possible to reduce maintenance and energy usage.
- Lights shall be shielded to avoid glare disturbing to occupants of the buildings.
- Lighting shall be so arranged as to reflect away from all adjoining residential buildings and neighboring lots.
- Street lighting along Union Avenue shall be provided in accordance with the requirements of the Jersey Central Power & Light (JCP&L) Municipal Lighting Handbook. Ornate Colonial Post Top Luminaire – II light poles shall be installed along Union Avenue. A lighting study shall be conducted to determine the number and light intensity of luminaires to be installed along the sidewalk in order to provide adequate lighting levels for pedestrian activity.



Figure 10: Ornate Colonial Post Top Luminaire – II
(Photo Credit: JCP&L)

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

Signage

- Signs should be architecturally compatible with the style, composition, materials, colors and details of the building.
- Sign illumination shall not be directed or reflected onto adjacent streets or properties.
- Window and door signs should avoid cluttering and blocking views.
- Lettering and character typefaces should match the scale of the building and size of the sign.
- Signs should be legible from a typical viewing position and travel speeds.

Bicycle Parking

- Bicycle parking spaces shall be provided in accordance with the following table for all uses:

| Gross Floor Area | Required Minimum Number of Bicycle Parking Spaces |
|----------------------------|---------------------------------------------------|
| 0 – 7,500 square feet | 0 |
| 7,501 – 20,000 square feet | 2 |
| Over 20,000 square feet | 1 per every 10,000 sq. ft. or fraction thereof |

- The location and style of bicycle racks shall conform to the following requirements:
 - Bicycle racks within the Redevelopment Plan area shall be Class II bicycle racks that are permanently anchored to promote stability and security.

- Bicycle racks shall be located in a visible area within 100 feet of a building entrance.
- Bicycle racks shall be U-Rack, Bollard, or Sheffield style
- Bicycle racks shall be of a galvanized, powder coated or stainless steel

Street Furniture

- Benches shall be provided along Union Avenue. All benches shall have horizontal straps (not woven) and a center armrest and shall be permanently mounted to the sidewalk with tamper-proof bolts. Benches shall be oriented towards the sidewalk.
 - If benches are located in the curb zone, they shall be positioned a minimum of two feet from the curb face. Benches must have at least three feet clear on all sides from any standing object including, but not limited to, parking meters, lights, and sign posts.
 - Benches should be installed on grades of 3% or less.
- Trash receptacles shall be provided along Union Avenue subject to review of the Planning Board.



Figure 11: Example Streetscape – Allentown, PA

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

Land Uses and Building Plan

The purpose of the redevelopment plan is to encourage resilient redevelopment that create a distinct and attractive walkable built environment able to sustain itself economically while mitigating against future flood hazards.

Redevelopment Plan Area #1

Goals and Objectives

- Transition the use of a vacant tract of land into mixed use building with residential units above ground floor retail along an accessible and important site along Route 36
- Utilize green infrastructure and other low-impact development techniques to reduce stormwater impacts on the surrounding community, reduce demands on the public water system and offer protection from future storm events
- Promote land use and development that will
 - Help facilitate resiliency to future storm events
 - Meet the housing needs of residents
 - Uphold and promote the goals and objectives of the Union Beach Master Plan

Site Requirements

Upon completion, site development will include the creation of a mixed use community that includes multifamily dwelling units and commercial uses.

- The site may be developed as a single tract or individual lots as willing landowners and developers opt to utilize the overlay.
- Any development in the Redevelopment Plan area shall require preliminary and final major site plan approval in accordance with the procedures and requirements specified in Section 13-6 of the Borough of Union Beach "Land Use and Development Regulations."
- Residential development will only be constructed on the second, and if permitted, third floors of a structure.

Permitted Principal Uses

1. First floor retail
2. First floor structured parking located behind retail
3. Second floor multifamily dwelling units
4. Second floor commercial
5. Second floor professional offices
6. Third floor multifamily dwelling units
7. Mixed Use that incorporates a combination of the above uses

Permitted Accessory Uses

1. Signs subject to the provisions herein
2. Uses accessory or incidental to the principal use

Prohibited Uses

1. Automobile or other vehicle sales or rentals, service or repair establishments
2. Adult Businesses and Services as per §13-5.30
3. Storage, processing, separation, or transfer of recycling, garbage or other waste materials
4. Indoor storage of materials (warehouses) or self-service storage facilities (mini-warehouses)
5. Wholesale building materials supply yards, yards of contractors and similar operations requiring bulk storage of materials and equipment, such as building construction supplies and the equipment, vehicles and supplies of heavy equipment contractors
6. Automobile "drive-in" or "drive-through" features in connection with any food sales, restaurant, bank or any other food, personal service or business establishment of any kind
7. Massage parlors unless licensed by the State of New Jersey as a Massage and Bodywork Therapist
8. Gasoline service station or filling station
9. Industrial process, manufacture, assembly or treatment that causes noise, odor, or vibration to be detectable on a neighboring property
10. Laundromats

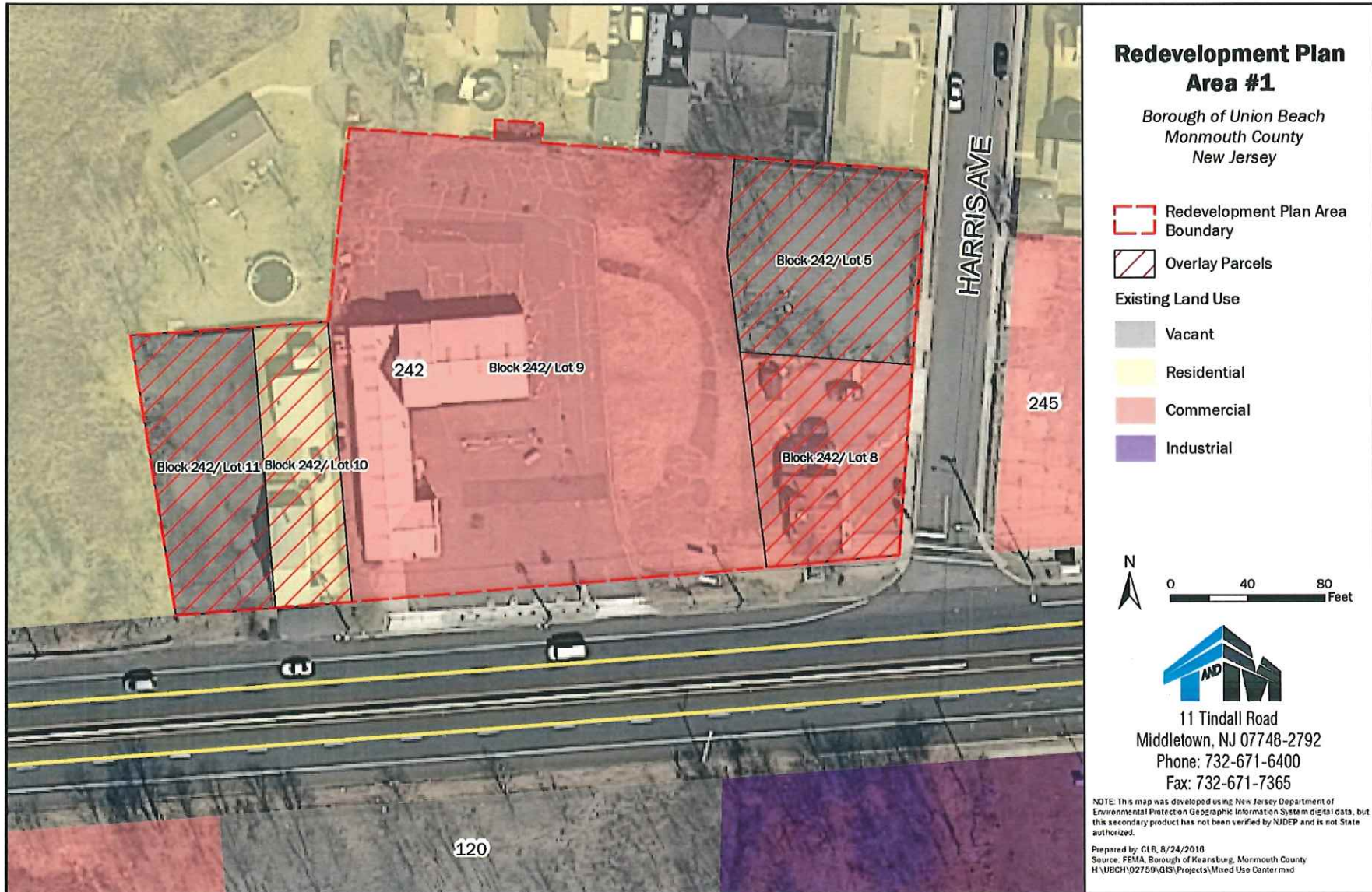
Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

Bulk and Area Requirements

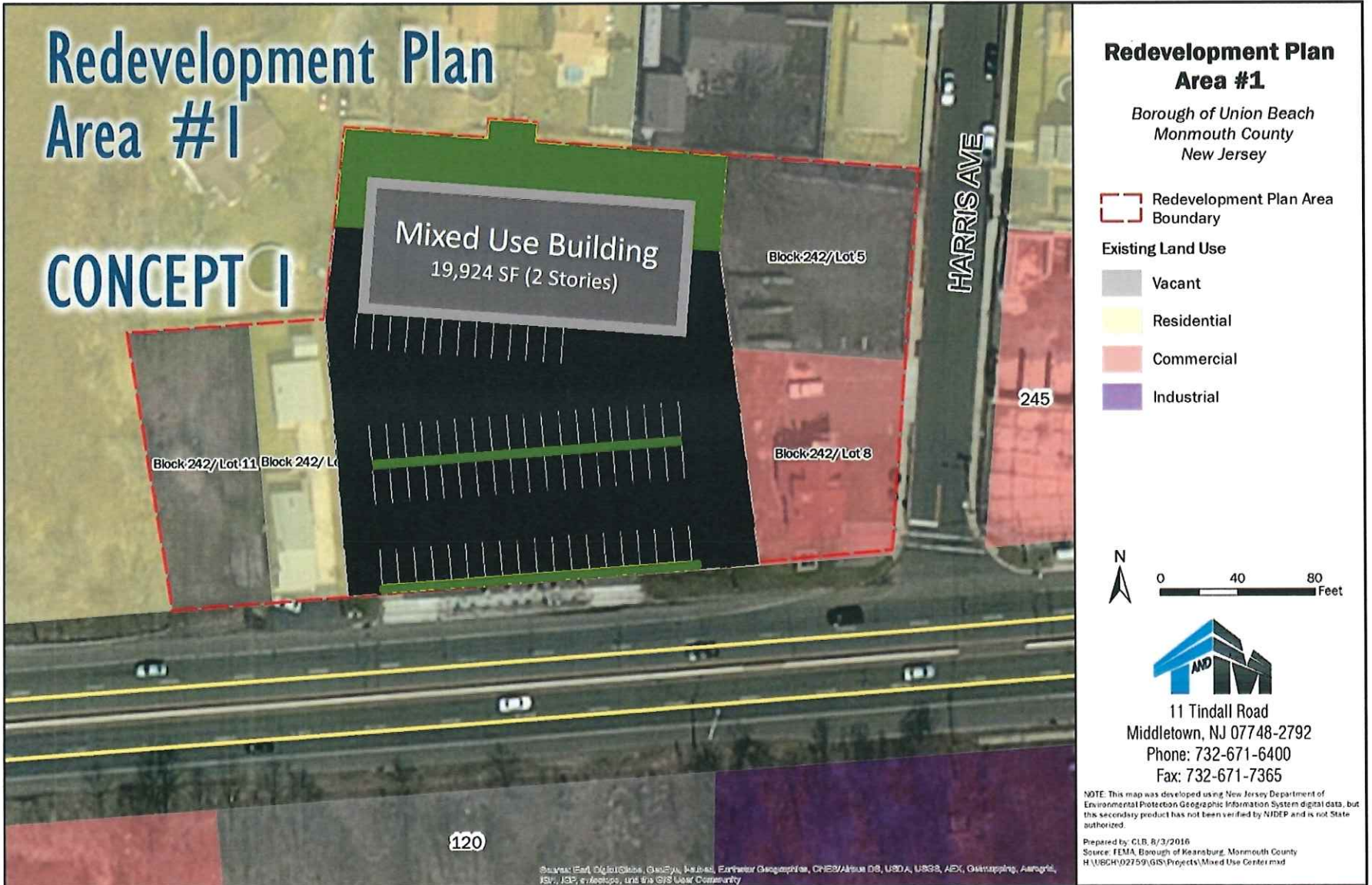
| | |
|-------------------------------------------------------------------------------------------------|---------------------------------|
| Minimum Setback from Route 36 | 35 feet |
| Minimum Setback from Harris Avenue | 15 feet |
| Minimum Setback from adjacent residential properties outside of the Redevelopment Plan Area | 30 feet |
| Minimum Setback from adjacent non-residential properties outside of the Redevelopment Plan Area | 10 feet |
| Minimum Distance between buildings inside the Redevelopment Plan Area | 5 feet* |
| Maximum Building Height (ft.) | 2 stories or 25 feet above BFE |
| <i>If all lots within the Redevelopment Plan Area are acquired</i> | 3 stories or 35 feet above BFE |
| Maximum Lot Coverage | 85% |
| Maximum Residential Density (dwelling units per acre) | 8 du/acre |
| <i>If all lots within the Redevelopment Plan Area are acquired</i> | 12 du/acre |
| Parking | |
| <i>Residential</i> | 2.0 spaces per residential unit |
| <i>Non-residential</i> | 1.0 space per 200 sq. ft. |

**The distance between buildings in the Redevelopment Plan Area may be reduced to zero (0), if the buildings are part of a proposed development in the Redevelopment Plan Area and optional overlay, provided that both buildings are being developed pursuant to the standards of this Redevelopment Plan.*

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County



**Commercial Corridors Redevelopment Plan
Union Beach, Monmouth County**



**Redevelopment Plan
Area #1**

CONCEPT 1

Mixed Use Building
19,924 SF (2 Stories)

**Redevelopment Plan
Area #1**

*Borough of Union Beach
Monmouth County
New Jersey*

Redevelopment Plan Area Boundary

Existing Land Use

- Vacant
- Residential
- Commercial
- Industrial



0 40 80 Feet



11 Tindall Road
Middletown, NJ 07748-2792
Phone: 732-671-6400
Fax: 732-671-7365

NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State authorized.

Prepared by: CLB, R/3/2016
Source: FEMA, Borough of Keansburg, Monmouth County H:\UBCH\02759\GIS\Projects\Mixed Use Center.mxd

Source: Esri, DigitalGlobe, GeoEye, AeroCast, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroX, GeoEye, IGN, IPC, Intermap, and the GIS User Community

**Commercial Corridors Redevelopment Plan
Union Beach, Monmouth County**



**Commercial Corridors Redevelopment Plan
Union Beach, Monmouth County**



Concept #2 Rendering

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

Redevelopment Plan Area #2

Goals and Objectives

- Serve as a major node for the Borough with its proximity to the Henry Hudson Trail and at the center of a large residential area
- Promote pedestrian activity along Union Avenue
- Promote the development of mixed use and residential development that is located outside of the 100-year flood hazard area
- Promote land use and development that will
 - Help facilitate resiliency to future storm events
 - Meet the housing needs of residents
 - Uphold and promote the goals and objectives of the Union Beach Master Plan

Site Requirements

Upon completion, site development will include the creation of a mixed use community that includes multifamily dwelling units and commercial uses.

- The site may be developed as a single tract or individual lots as willing landowners and developers opt to utilize the overlay.
- Any development in the Redevelopment Plan area shall require preliminary and final major site plan approval in accordance with the procedures and requirements specified in Section 13-6 of the Borough of Union Beach "Land Use and Development Regulations."
- Buildings shall frame intersections, with building mass located close to street corners.
- Buildings shall face and open onto streets, parks, sidewalks and other public spaces, rather than alleys, driveways, or parking lots.
- Buildings on street corners should consider a primary entrance at the corner to maximize visibility from all directions.
- At least 50% of the building's front facade at ground level must be located along the front setback line.
- Sidewalks along Columbia and Central Avenues shall be at least 5 feet in width.

Permitted Principal Uses

1. First floor retail
2. Outdoor dining areas may be permitted in conjunction with a first floor café or restaurant.
3. Second floor multifamily dwelling units
4. Second floor commercial
5. Second floor professional offices
6. Mixed Use that incorporates a combination of the above uses

Permitted Accessory Uses

1. Signs subject to the provisions herein
2. Uses accessory or incidental to the principal use.
3. Outdoor dining areas may be permitted in conjunction with a first floor café or restaurant.

Prohibited Uses

1. Automobile or other vehicle sales or rentals, service or repair establishments
2. Adult Businesses and Services as per §13-5.30
3. Storage, processing, separation, or transfer of recycling, garbage or other waste materials
4. Indoor storage of materials (warehouses) or self-service storage facilities (mini-warehouses)
5. Wholesale building materials supply yards, yards of contractors and similar operations requiring bulk storage of materials and equipment, such as building construction supplies and the equipment, vehicles and supplies of heavy equipment contractors
6. Automobile "drive-in" or "drive-through" features in connection with any food sales, restaurant, bank or any other food, personal service or business establishment of any kind
7. Massage parlors unless licensed by the State of New Jersey as a Massage and Bodywork Therapist
8. Gasoline service station or filling station
9. Industrial process, manufacture, assembly or treatment that causes noise, odor, or vibration to be detectable on a neighboring property
10. Laundromats

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

Bulk and Area Requirements

| | |
|----------------------------------------------------------------------------------------------|----------------------------------------------------|
| Maximum Setback from Union Avenue | 15 feet |
| Minimum Setback from Columbia Avenue | 6 feet |
| Minimum Setback from Central Avenue | 6 feet |
| Minimum Setback from adjacent residential properties outside the Redevelopment Plan Area | 10 feet |
| Minimum Setback from adjacent non-residential properties outside the Redevelopment Plan Area | 5 feet |
| Minimum Distance between buildings inside the Redevelopment Plan Area | 5 feet* |
| Maximum Building Height (ft.) | 2 stories or 30 feet above BFE |
| Maximum Lot Coverage | 90% |
| Maximum Residential Density (dwelling units per acre) | 16 du/acre |
| | <i>If all lots are acquired</i> 18 du/acre |
| Parking | |
| | <i>Residential</i> 1.5 spaces per residential unit |
| | <i>Non-residential</i> 1.0 space per 200 sq. ft. |

*The distance between buildings in the Redevelopment Plan Area may be reduced to zero (0), if the buildings are part of a proposed development in the Redevelopment Plan Area and optional overlay, provided that both buildings are being developed pursuant to the standards of this Redevelopment Plan.

**Commercial Corridors Redevelopment Plan
Union Beach, Monmouth County**



**Commercial Corridors Redevelopment Plan
Union Beach, Monmouth County**



Redevelopment Plan Area #2

Borough of Union Beach
Monmouth County
New Jersey

Redevelopment Plan Area Boundary

Existing Land Use

- Vacant
- Public Property
- Residential
- Commercial
- Apartment



0 25 50 Feet



11 Tindall Road
Middletown, NJ 07748-2792
Phone: 732-671-6400
Fax: 732-671-7365

NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but the secondary product has not been verified by NJDEP and is not State authorized.

Prepared by: GLR, 8/3/2016
Source: FEMA, Borough of Kearsburg, Monmouth County
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Source: Esri, DeLorme, GeoEye, Iridium, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, Aero, GeoEye, IGN, IPC, e-Mapbox, etc. All GIS data Copyright ©

**Commercial Corridors Redevelopment Plan
Union Beach, Monmouth County**



Concept #2 Rendering

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

Redevelopment Plan Area #3

Goals and Objectives

- Serve as a gateway to the downtown Union Avenue commercial corridor by placing emphasis on the northwest corner of the Redevelopment Plan Area
- Promote pedestrian activity along Union Avenue that supports the needs of the Brook Avenue Redevelopment and nearby recreational areas
- Facilitate the continuation of the current use at the subject site inclusive of mixed use development that incorporates residential dwelling units
- Promote land use and development that will
 - Help facilitate resiliency to future storm events
 - Meet the housing needs of residents
 - Uphold and promote the goals and objectives of the Union Beach Master Plan

Site Requirements

Upon completion, site development will include the creation of a mixed use community that includes multifamily dwelling units and commercial uses.

- The site may be developed as a single tract or individual lots as willing landowners and developers opt to utilize the overlay.
- Any development in the Redevelopment Plan area shall require preliminary and final major site plan approval in accordance with the procedures and requirements specified in Section 13-6 of the Borough of Union Beach "Land Use and Development Regulations."
- Buildings shall frame intersections, with building mass located close to street corners.
- Buildings shall face and open onto streets, parks, sidewalks and other public spaces, rather than alleys, driveways, or parking lots.
- Buildings on street corners should consider a primary entrance at the corner to maximize visibility from all directions.
- At least 50% of the building's front facade at ground level must be located along the front setback line.

- A decorative building element should be considered at the northwest corner of the Redevelopment Plan Area.

Permitted Principal Uses

1. First floor cafes, restaurants, bars, brewpubs, or other food establishments
2. First floor retail
3. Second floor multifamily dwelling units
4. Mixed Use that incorporates a combination of the above uses

Permitted Accessory Uses

1. Signs subject to the provisions herein
2. Uses accessory or incidental to the principal use
3. Outdoor dining areas may be permitted in conjunction with a first floor café or restaurant

Prohibited Uses

1. Automobile or other vehicle sales or rentals, service or repair establishments
2. Adult Businesses and Services as per §13-5.30
3. Storage, processing, separation, or transfer of recycling, garbage or other waste materials
4. Indoor storage of materials (warehouses) or self-service storage facilities (mini-warehouses)
5. Wholesale building materials supply yards, yards of contractors and similar operations requiring bulk storage of materials and equipment, such as building construction supplies and the equipment, vehicles and supplies of heavy equipment contractors
6. Automobile "drive-in" or "drive-through" features in connection with any food sales, restaurant, bank or any other food, personal service or business establishment of any kind
7. Massage parlors unless licensed by the State of New Jersey as a Massage and Bodywork Therapist
8. Gasoline service station or filling station
9. Industrial process, manufacture, assembly or treatment that causes noise, odor, or vibration to be detectable on a neighboring property.
10. Laundromats

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

Bulk and Area Requirements

| | |
|----------------------------------------------------------------------------------------------|---------------------------------|
| Maximum Setback from Union Avenue | 15 feet |
| Minimum Setback from Prospect Avenue | 6 feet |
| Minimum Setback from Bayview Avenue | 6 feet |
| Minimum Setback from adjacent residential properties outside the Redevelopment Plan Area | 10 feet |
| Minimum Setback from adjacent non-residential properties outside the Redevelopment Plan Area | 5 feet |
| Minimum Distance between buildings inside the Redevelopment Plan Area | 5 feet* |
| Maximum Building Height (ft.) | 2 stories or 30 feet above BFE |
| Maximum Lot Coverage | 90% |
| Maximum Residential Density (dwelling units per acre) | 8 du/acre |
| <i>If all lots are acquired</i> | 12 du/acre |
| Parking | |
| <i>Residential</i> | 1.5 spaces per residential unit |
| <i>Non-residential</i> | 1.0 space per 200 sq. ft. |

**The distance between buildings in the Redevelopment Plan Area may be reduced to zero (0), if the buildings are part of a proposed development in the Redevelopment Plan Area and optional overlay, provided that both buildings are being developed pursuant to the standards of this Redevelopment Plan.*

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County



Redevelopment Plan Area #3

Borough of Union Beach
Monmouth County
New Jersey

Redevelopment Plan Area Boundary

Overlay Parcels

Existing Land Use

Vacant

Public Property

Residential

Commercial



0 30 60 Feet



11 Tindall Road
Middletown, NJ 07748-2792
Phone: 732-671-6400
Fax: 732-671-7365

NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State authorized.

Prepared by: CLB, 8/24/2010
Source: FEMA, Borough of Kearsburg, Monmouth County
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**Commercial Corridors Redevelopment Plan
Union Beach, Monmouth County**



Concept #2 Rendering

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

Redevelopment Plan Area #4

Goals and Objectives

- Create a welcoming and aesthetic gateway to the downtown Union Avenue commercial corridor by means of public open space
- Incorporate green infrastructure and low impact development to mitigate stormwater runoff
- Transition the use of a vacant tract of land into public space
- Promote land use and development that will
 - Help facilitate resiliency to future storm events
 - Meet the open space needs of residents
 - Uphold and promote the goals and objectives of the Union Beach Master Plan

Site Requirements

Upon completion, site development provide a public park that serves as a welcoming gateway to Union Beach and the downtown Union Avenue commercial corridor.

- Open space developed at the site shall consider the design elements (planting, furnishing and lighting) displayed in the figure in this section.

Permitted Principal Uses

1. Outdoor passive recreation facilities

Permitted Accessory Uses

1. Signs subject to the provisions herein
2. Uses accessory or incidental to the principal use

PLANTING



LORD ON FLAME TREE



RYER BRICH



ALLEGHENY BERRYCRABBY



EASTERN RED CEDAR



RAIN GARDEN / WILDFLOWER MIX



TWO FACE CLOCK



FOUR FACE CLOCK



STONE SEAT WALL



CONCRETE SEAT WALL



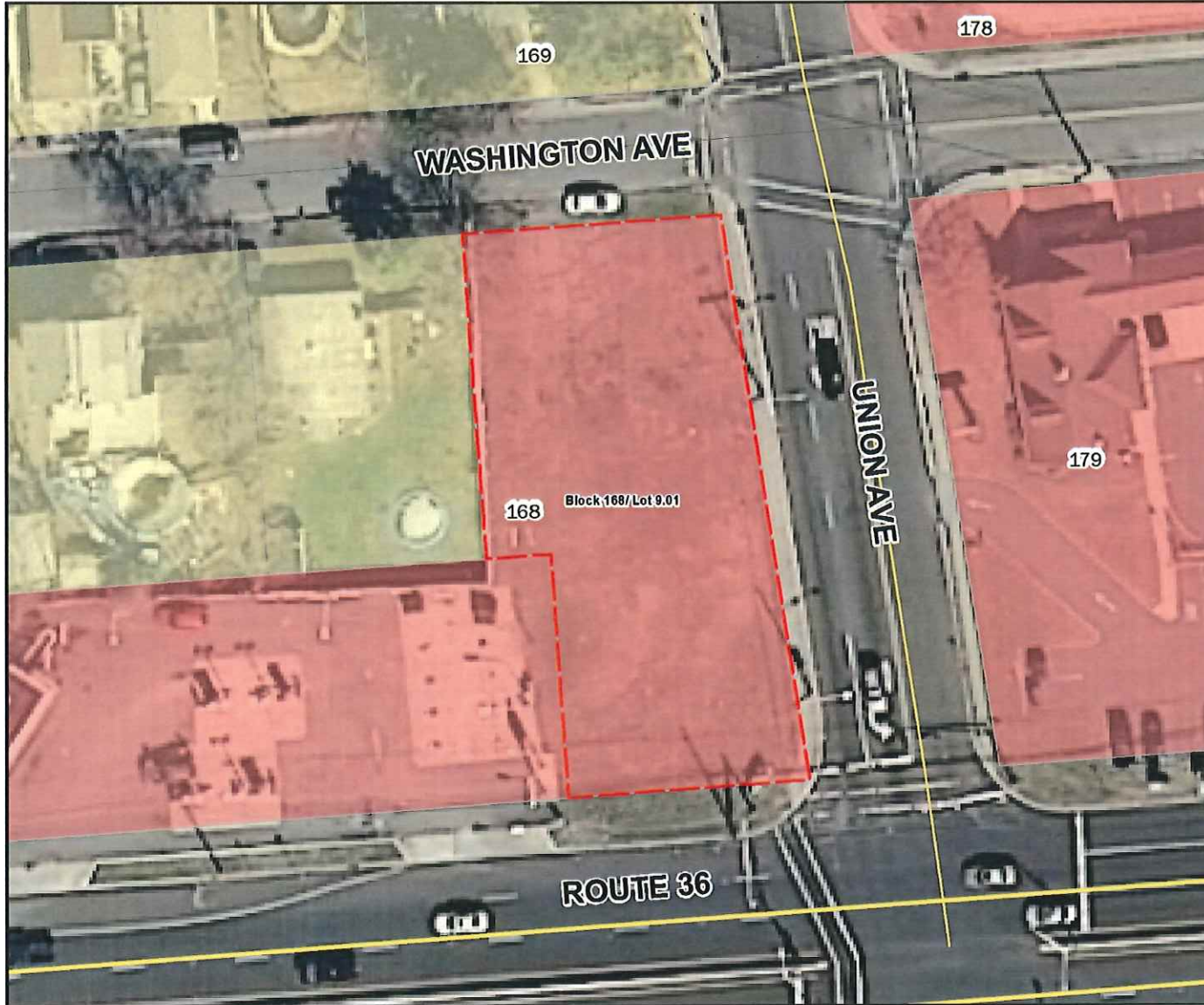
DECORATIVE STREET LAMP



LIGHT BOLLARD



Commercial Corridors Redevelopment Plan Union Beach, Monmouth County



Redevelopment Plan Area #4

Borough of Union Beach
Monmouth County
New Jersey

 Redevelopment Plan
Area Boundary

Existing Land Use

 Residential

 Commercial



11 Tindall Road
Middletown, NJ 07748-2792
Phone: 732-671-6400
Fax: 732-671-7365

NOTE: This map was developed using New Jersey Department of Environmental Protection Geographic Information System digital data, but this secondary product has not been verified by NJDEP and is not State authorized.

Prepared by: CLB, 8/24/2016
Source: FEMA, Borough of Keansburg, Monmouth County
H:\MDC\02755\GIS\Projects\Mixed Use Center.mxd

Relationship to Local Planning Objectives

Pursuant to the LRHL, “all provisions of the Redevelopment Plan shall be either substantially consistent with the municipal master plan or designed to effectuate the master plan” (N.J.S.A. 40A-12A-7d). As described in prior sections, the Redevelopment Plan is substantially consistent with the Borough’s Master Plan and is intended to effectuate the goals and objectives of the Borough Master Plan.

Local Planning Objectives

The 2005 Union Beach Master Plan establishes goals and objectives for major land use categories. These goals and objectives were reaffirmed as part of the post-Sandy 2015 Master Plan Reexamination Report and Master Plan Amendments. The Redevelopment Plan objectives are consistent with and seek to advance the following objectives of the Borough’s Master Plan:

Residential

- Ensure that public and quasi-public land use remains compatible with the needs and character of adjacent neighborhoods.

Commercial

- Continue the improvement of commercial properties in the borough.
- Strive to enhance and retain existing businesses and promote new business development along commercially zoned areas of Route 36, Union Avenue, Florence Avenue and Front Street.
- Encourage shared parking when appropriate to meet parking demands while limiting the amount of impervious surfaces.
- Require buffering around commercial properties to soften the visual and functional impact of their design and use.
- Encourage the revitalization of commercial properties that need rehabilitation or improvement.
- Encourage upgrading of commercial properties and their surroundings.
- Create attractive gateways at the principal entrances to the borough through upgraded land uses, streetscape improvements and signage.

Circulation

- Increase bicycle/pedestrian safety and circulation at key intersections by utilizing traffic calming measures and providing bike lanes that connect with the Heritage Trail and community facilities throughout the borough.
- Encourage circulation patterns that are compatible with land use goals and public safety.
- Improve the appearance of intermediate and major thoroughfares, such as Route 36, Union Avenue and Florence Avenue.

Economic Development / Redevelopment

- Encourage the development of a diversified economic base that generates employment growth, provides increased tax ratables, increases income levels and promotes the reuse of underutilized properties.
- Capitalize on the Borough’s competitive advantages for economic development purposes including its location in the New Jersey/New York City region, extensive transportation and quality of life.
- Focus economic activity in the borough’s economic centers including the International Flavor and Fragrance Company, JCP&L properties and existing non-residential areas. Recognize the unique character of each area and promote development that will strengthen and reinforce market niches.

Housing

- Provide a balance of housing options to meet the needs of all residents including low and moderate income housing and market rate housing.
- Encourage residential rehabilitation to improve substandard units and preserve neighborhood stability.
- Encourage the development of housing that is affordable to younger couples and families seeking to remain in, or move to, the borough.
- Promote the development of senior citizen housing that enables older residents to “age in place” including independent living, assisted living, and congregate care housing.
- Enforce the property maintenance code to improve the aesthetic and image of the Borough.

Community Facilities and Utility Infrastructure

- Provide adequate sewer and water services to meet the demands of proposed economic development and a growing population in a manner that will limit sprawl and promote concentrated development.
- Preserve and upgrade the existing utility infrastructure including water, stormwater management and wastewater treatment. Continue rehabilitation programs while pursuing selected replacement and expansion projects in order to accommodate growth and revitalization.
- Improve stormwater management along the bay front, roads and intersections through effective infrastructure, maintenance, and replacement.
- To achieve the stormwater quality standards established by the New Jersey Department of Environmental Protection.
- Cooperate with surrounding communities, county, and state organizations to make the best use of available public facilities.

Community Identity

- Develop and effectively communicate a strong and appealing identity for the Borough.
- Create attractive, memorable “gateways” into the borough.
- Encourage higher quality architectural and landscape design through the use of design standards.
- Develop and implement streetscape projects for major public thoroughfares.
- Enhance and maintain the appearance of community facilities and borough owned properties.
- Encourage neighborhoods to improve their aesthetic appeal and identity.

Stormwater Management Plan

The 2005 Master Plan also included a Stormwater Management Plan, which was subsequently revised in 2007, to guide the establishment of new and updated methods to address stormwater that is generated from development. Many of these recommendations encourage the use of green infrastructure and low impact development, including vegetative swales, and pervious pavements where feasible. Other recommendations include the practice of parking space “banking” to prohibit the

excessive development of parking if the need does not exist. Another recommendation, related to coastal development, encouraged the use of vegetation to stabilize the shoreline.

Strategic Recovery Planning Report

As part of the Borough’s Post-Sandy recovery process, the Borough adopted a Strategic Recovery Planning Report (SRPR) in 2014. The SRPR outlined a recommended set of implementable actions to guide the Borough in promoting recovery from the impacts of Superstorm Sandy and future storm resilience. In addition to the reexamination of the Borough’s master plan elements, the SRPR also recommended that the Borough renew efforts to make the Route 36 Corridor redevelopment area a priority, involving the promotion of new business and economic development, as well as non-residential design standards.

Existing Zoning and Land Development Regulation

In order to implement the Redevelopment Plan in a manner consistent with its stated goals and objectives, the Redevelopment Plan shall supersede the use, bulk and design standards of the existing underlying Zoning Districts as specified in the Borough’s Zoning Ordinance for the Redevelopment Area Sites specifically highlighted on Page 2 of this report. The parcels identified in the optional Redevelopment Plan overlay may utilize the use, bulk and design standards of this Redevelopment Plan if they are developed in conjunction with the sites where the Redevelopment Plan supersedes the underlying Zoning.

Planning Relationship

Contiguous Municipalities

Union Beach Borough is located in northern Monmouth County along the Raritan Bay. The Borough is bordered by the Raritan Bay to the north and west, Keyport Borough to the west, Hazlet Township to the south and east, and Keansburg Borough to the east. The Redevelopment Plan Area includes sites on Union Avenue and Route 36 in Union Beach, placing it adjacent, and within close proximity to, Hazlet Township.

Hazlet Township

Hazlet Township's 2008 Master Plan Reexamination Report noted that the Township's Master Plan, adopted in 1978 did not reflect current conditions and planning goals. The 2008 Reexamination Report recommended that the Township prepare a comprehensive Master Plan that updated and expanded the master plan elements. The 2008 Reexamination Report also recommended the amendment of its Land Use Plan goals, several of which are consistent with this Redevelopment Plan:

- To encourage high quality design in residential, commercial and industrial development.
- To preserve open space and especially environmentally critical areas such as flood plains, wetlands, and steep slopes.
- To provide for the expansion of the economic and tax bases of the Township through the encouragement of continuous upgrading of existing commercial business areas including but not limited to the Route 35 and Route 36 corridors.
- To encourage mixed use development in appropriate nodes to support smart growth planning.
- To encourage environmentally sustainable development.

Furthermore, Hazlet's 2008 Master Plan Reexamination Report identifies four "Focus Areas" for further examination in an updated Master Plan. One of these Focus Areas identifies a the section of the Township along Route 36 from the Keyport Border to Union Avenue, where issues to be addressed include zone changes to enable smart growth, encouraging walkable community areas with linkages to adjacent

neighborhoods and activity areas, and providing a welcoming image of Hazlet to visitors of the Bayshore.

Monmouth County

Monmouth County's Planning Board and Division of Planning are currently preparing a comprehensive update to its Master Plan, last adopted in 1982 as the Monmouth County Growth Management Guide (GMG). A draft of the new plan was released in 2016, with an anticipated public hearing on the Master Plan set for September 2016. The 2016 Master Plan intends to represent a shift in the focus to planning for Monmouth County, from suburban growth management to a focus on redevelopment, revitalization and rediscovery of its communities.

General goals and objectives of the 2016 Master Plan as they relate to this Redevelopment Plan include:

Goal:

- Promote beneficial development and redevelopment that continues to support Monmouth County as a highly desirable place to live, work, play, and stay

Objectives:

- Promote policies that foster healthy, sustainable, and resilient communities.
- Encourage a range of housing options including types, sizes, styles, and accommodations to meet the needs associated with various lifestyles, life-stages, abilities, and occupations of residents while supporting economic suitability within the region.
- Encourage the redevelopment and revitalization of highway commercial corridors that incorporate multipurpose uses, higher design standards, are located outside Special Flood Hazard Areas (SFHA), and improve circulation both on and off-site.
- Promote vibrancy, attractiveness, and a diverse array of uses, occupations, services, and amenities for downtowns and business districts.
- Endorse the use of enhanced landscapes, streetscapes, and design amenities that promote safe and secure neighborhoods as well as other attractive and appealing built environments that discourage aversion, crime, and blight.

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

- Encourage the use of green technology and design to reduce the impact of property improvements on natural systems.
- Promote the redevelopment or reuse of environmentally degraded places such as brownfields and grayfield sites into safe, new uses and public amenities that promote healthy community design.
- Support measures to improve communities in need of revitalization or restoration.
- Promote in-fill development and the adaptive reuse of substandard, underutilized, or abandoned structures that complement or improve adjacent land uses and support or enhance neighborhood character resulting in healthier places to live, work, learn, and recreate.
- Promote the development and use of design standards that reinforce neighborhood character and improve the appearance and appeal of special improvement districts, commercial districts and corridors, and redevelopment areas.
- Promote energy efficient construction and housing systems that reduce long-term costs and maintenance as well as design, technologies, and construction methods that have a lower impact on natural systems.
- Encourage development of a high quality, diversified tax base to provide superior economic resiliency when confronted with unanticipated changes in the overall economy.
- Promote the use of environmental best management practices for utilities and infrastructure during redevelopment that contribute to healthier communities, support improved efficiency, and result in long-term cost reductions.
- Promote and support actions and efforts that increase natural resiliency.

In addition, the 2016 Master Plan identifies Union Beach as a “Priority Growth-Reinvestment Area,” where more intensive or significant development, redevelopment, revitalization, and hazard mitigation investments are highly encouraged. The Redevelopment Plan is therefore substantially consistent with the County Master Plan and Bayshore Region Strategic Plan.

State Development and Redevelopment Plan

On March 1, 2001, the State Planning Commission (“SPC”) adopted the SDRP. The sites identified for redevelopment in the Commercial Corridors Redevelopment Plan are located within the Metropolitan Planning Area (PA-1). The Commercial Corridors Redevelopment Plan is consistent with the State Plan’s intention for the Metropolitan Planning Area, which is to provide for much of the state’s future redevelopment; revitalize cities and towns; promote growth in compact forms; stabilize older suburbs; redesign areas of sprawl; and protect the character of existing stable communities. The Commercial Corridors Redevelopment Plan is compatible with the following State Plan policy objectives governing the Metropolitan Planning Area 1:

- Promote diversification of land uses, including housing where appropriate, in single-use developments and enhance their linkages to the rest of the community. Ensure efficient and beneficial utilization of scarce land resources throughout the Planning Area to strengthen its existing diversified and compact nature.
- Provide a full range of housing choices through redevelopment, new construction, rehabilitation, adaptive reuse of nonresidential buildings, and the introduction of new housing into appropriate nonresidential settings.
- Promote economic development by encouraging strategic land assembly, site preparation and infill development, public/private partnerships and infrastructure improvements.
- Maintain and enhance a transportation system that capitalizes on high-density settlement patterns by encouraging the use of public transit systems, walking and alternative modes of transportation to reduce automobile dependency.
- Complete, repair, or replace existing infrastructure systems to eliminate deficiencies and provide capacity for sustainable development and redevelopment in the region.
- Encourage redevelopment at intensities sufficient to support transit, a broad range of uses and efficient use of infrastructure. Promote design that enhances public safety, encourages pedestrian activity and reduces dependency on the automobile.

Administrative and Procedural Requirements

Relocation and Acquisition

The Borough's decision to utilize the area-in-need-of-rehabilitation designation prohibits the use of eminent domain, but rather encourages for a coordinated effort of public and private investment to achieve the goals outlined in this Redevelopment Plan. Therefore, this plan will not necessitate relocation of residents.

Amending the Redevelopment Plan

Upon compliance with the requirements of applicable law, the Borough Council may amend, revise, or modify the Redevelopment Plan in general or for specific properties within the Redevelopment Plan area, as circumstances may make such changes appropriate. The review and approval of any proposed amendments shall be undertaken in accordance with the procedures set forth in the LRHL. However, any proposed changes in permitted uses, the land use plan, residential density, building height, or the core design concepts in this plan shall require notice and public hearings in a manner similar to the adoption of the original plan.

Redevelopment Powers

The Borough may also use any and all redevelopment powers granted to it pursuant to the LRHL to effectuate this plan. The Borough may enter into agreements with a designated redeveloper or redevelopers in connection with the construction of any aspect of the Redevelopment Plan, including off-site improvements.

Duration of the Plan

The Redevelopment Plan, as it may be amended from time to time, shall be in full force and effect upon its adoption by ordinance by the Borough Council and shall be in effect until the redevelopment of the Redevelopment Plan area as evidenced by the issuance of the Borough of a certificate of project completion in accordance with the Redevelopment Plan.

Redeveloper Selection

Redevelopment under the terms of this Redevelopment Plan shall only be undertaken pursuant to a redevelopment agreement entered into between the Borough and a designated redeveloper, which may be the property owner. The following restrictions and controls on redevelopment are hereby imposed in connection with the selection of a redeveloper(s) for any property or properties included in the Redevelopment Plan and shall apply notwithstanding the provisions of any zoning or building ordinance or other regulations now or hereafter in force.

- The redeveloper will be obligated to carry out the specified improvements in accordance with the Redevelopment Plan.
- The redeveloper, its successors, or assignees, shall develop the Redevelopment Plan area in accordance with the Redevelopment Plan.
- Until the required improvements are completed and a certificate of completion is issued, the redeveloper covenants provided for in N.J.S.A. 40A:12A-9 and imposed in any redevelopment agreement, lease, deed, or other instruments shall remain in full force and effect.
- The redevelopment agreement(s) shall contain provisions to assure the timely construction of the redevelopment project, the qualifications, financial capability, and financial guarantees of the redeveloper(s) and any other provisions necessary to assure the successful completion of the project.

Redevelopment Entity Review

The Borough Council, acting as the redevelopment entity, shall review all proposed redevelopment projects within the Redevelopment Plan Area to ensure that such project(s) are consistent with the redevelopment plan prior to their submission to the Planning Board. As part of its review, the Borough Council may require the redeveloper to submit its proposed project to a technical review committee or subcommittee of the Borough Council. The technical review committee may include members of the Borough Council and any other members and/or professionals as determined necessary and appropriate by the Borough. The technical review committee shall make its reservations to the Borough Council.

Commercial Corridors Redevelopment Plan Union Beach, Monmouth County

In undertaking its review, the Borough Council shall determine whether the proposal is consistent with this Redevelopment Plan and relevant redeveloper agreement(s). In addition, the review may address the site and building design elements of the project to ensure that the project adequately addresses the goals and objectives of the plan.

Planning Board Review Process

Pursuant to N.J.S.A. 40A12A-13, all development applications for development of sites governed by this Redevelopment Plan shall be submitted to the Planning Board for review and approval. The following provisions shall govern review of any proposed redevelopment projects for the Redevelopment Plan area.

- No building permit shall be issued by the construction or zoning official for any work resulting in a change of intensity of development or change of use for any properties or buildings within the area of the Redevelopment Plan.
- Regular maintenance and minor repair shall not require Planning Board review and approval.
- The Planning Board shall conduct site plan and subdivision review, if applicable, pursuant to N.J.S.A. 40:55d-1 et seq. and the Borough's Land Use and Development Regulations.
- As part of site plan approval, the Planning Board may require the redeveloper to furnish performance guarantees pursuant to N.J.S.A. 40:55D-53 and as required in the Borough's Land Use and Development Regulations. The performance guarantees shall be in favor of the Borough of Union Beach, and the Borough Engineer shall determine the amount of any performance guarantees.
- Any subdivision of lots or parcels of land within the Redevelopment Plan area shall be in compliance with the Redevelopment Plan and reviewed by the Planning Board pursuant to the LRHL and N.J.S.A. 40A:55D-1 et seq.
- Once a property has been redeveloped in accordance with the Redevelopment Plan, it may not be converted to any use not expressly permitted in this Redevelopment Plan. No non-conforming use, building, or structure may be expanded or made more non-conforming in nature after adoption of this Redevelopment Plan. With the exception of parcels in the optional overlays that have not been developed to the standards of this Redevelopment Plan, a

use or structure not conforming to the requirements of this Redevelopment Plan may not be reconstructed in the event of its destruction. The Planning Board shall determine the issue of whether the non-conforming use or building structure has been "destroyed."

- No variances, deviations or waivers may be granted by the Planning Board which will result in permitting a use prohibited or not expressly permitted within the Commercial Corridors Redevelopment Plan area or which will result in a density that exceeds the densities permitted in this Plan, a building height that exceeds that permitted in this plan, or is inconsistent with the land use plan or core design concepts of the plan. Any such change or deviation shall require an amendment to this plan.
- The regulations and controls of this Redevelopment Plan shall be implemented, where applicable, by appropriate covenants, or other provisions and through agreements between the redeveloper and the Borough pursuant to N.J.S.A. 40A:12A-8 and 40A:12A-9.
- Any and all definitions contained within this Redevelopment Plan shall prevail. In the absence of a definition, the definition found within the Borough's Land Use Development Ordinance shall prevail. Any and all definitions inconsistent with N.J.S.A. 40A:12A-3 shall be considered invalid.
- A redeveloper shall be required to pay all applicable escrow fees and other required charges in accordance with applicable provisions of the Borough's Land Use Development Ordinance and State law. Additionally, a redeveloper shall be required to pay their proportional share of the cost of any studies, plans, reports, or analysis prepared by the Borough or its designated redevelopment entity as part of this Redevelopment Plan. Any such payments required to reimburse the Borough shall be specified in the redevelopment agreement.

The above provisions are all subject to approval by ordinance and/or resolution according to law. If a court of competent jurisdiction finds any word, phrase, clause, section, or provision of this Redevelopment Plan to be invalid, illegal, or unconstitutional, the word, phrase, section, or provision shall be deemed severable, and the remainder of the Redevelopment Plan and implementing ordinances shall remain in full force and effect.

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